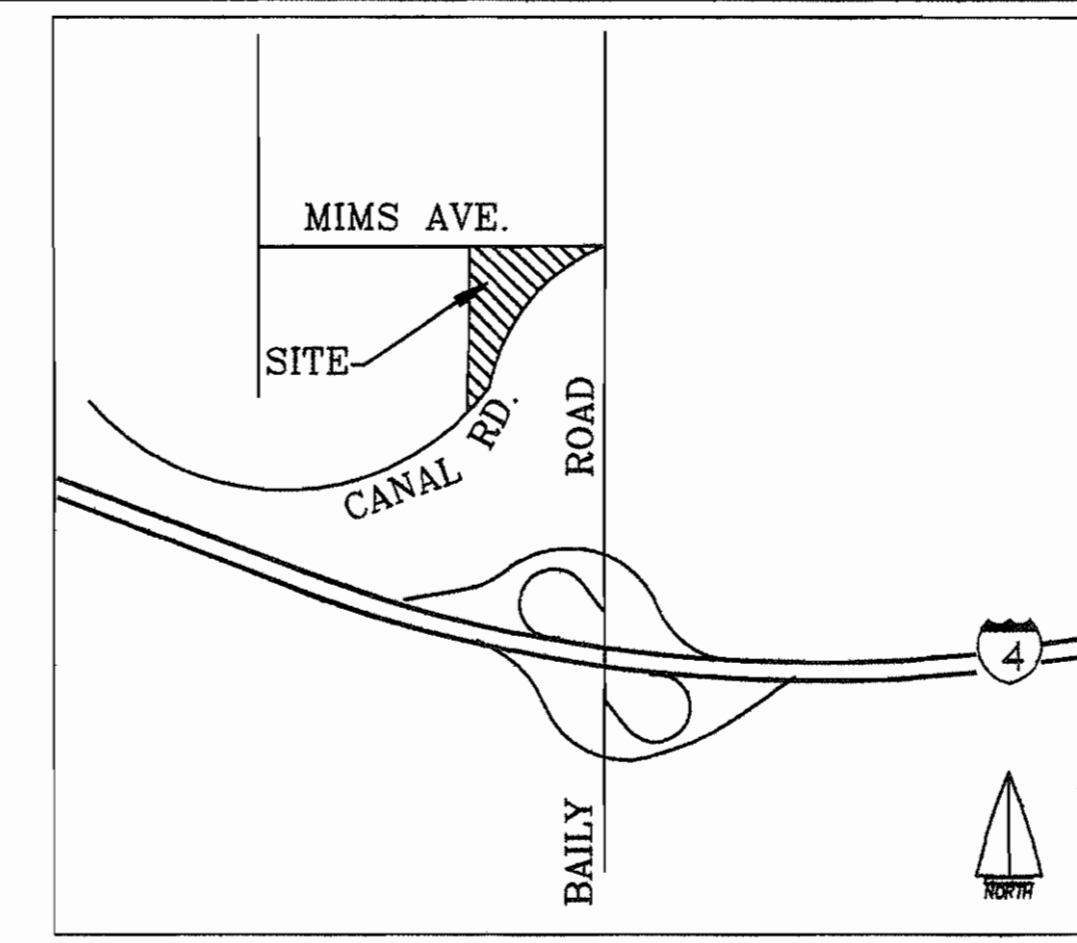


J & J MANNING  
097-270-077

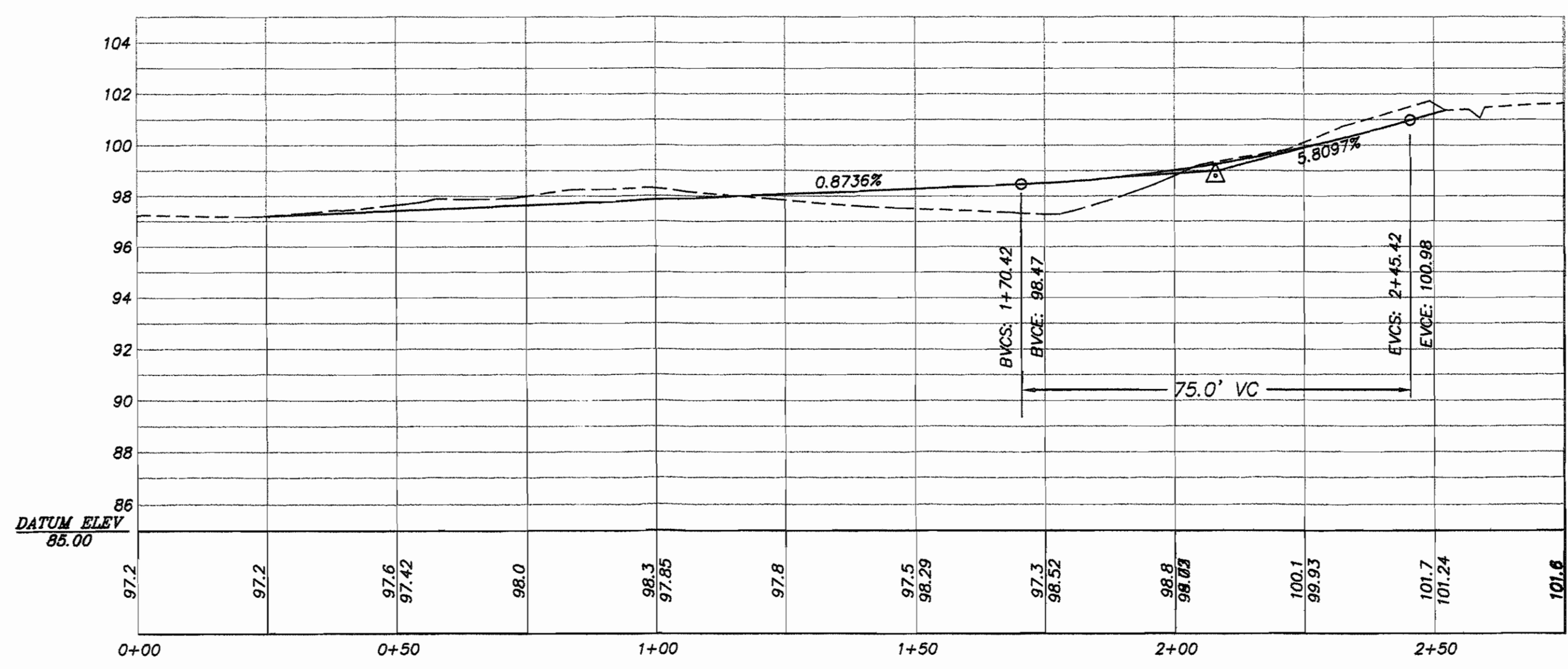


VICINITY MAP  
**LUCKY STAR TOWNHOMES**  
210 AMERSON AVE.  
BAY POINT, CALIFORNIA

ALL OF LOT #78 AS SHOWN ON THE PLAT OF GARDENLAND,  
RECORDED IN BOOK 18, MAP 55, IN THE OFFICIAL HALL OF  
RECORDS FOR THE CITY OF SACRAMENTO, CA

*LOT AREA = 24,147 Sq. Ft.*  
*Landscape Area = 8,500 +/-*

SCALE: 1' = 20'



<b>DEVELOPER:</b>	MR. XIE WEI 6559 LAS POSITAS RD. LIVERMORE, CA 94551 PH. (925) 980-5287
<b>ENGINEER:</b>	HP ENGINEERING & CONSTRUCTION 629 COMMONS DRIVE SACRAMENTO, CALIFORNIA 95825 PH. (916) 925-1625 FAX (916) 925-1625
<b>ASSESSOR'S PARCEL NUMBER:</b>	097-270-071 & PORTION OF 074
<b>ACREAGE:</b>	0.52± ACRE
<b>EXISTING USE:</b>	VACANT
<b>PROPOSED USE:</b>	10 MULTI FAMILY RESIDENCES
<b>EXISTING ZONING:</b>	D-1
<b>PROPOSED ZONING:</b>	D-1
<b>LOT SIZE:</b>	MINIMUM LOT SIZE AS SHOWN
<b>PROPOSED IMPROVEMENTS:</b>	CONTRA COSTA COUNTY
<b>SEWER:</b>	DELTA-DIABLO SANITATION DISTRICT
<b>WATER SUPPLY:</b>	SOUTHERN CALIF. WATER COMPANY
<b>DRAINAGE:</b>	CONTRA COSTA COUNTY
<b>FIRE PROTECTION:</b>	CONTRA COSTA COUNTY F.P.D.
<b>TELEPHONE SERVICE:</b>	AT&T
<b>ELECTRICAL SERVICE:</b>	PG&E
<b>GAS SUPPLY:</b>	P.G. & E.
<b>SCHOOL DISTRICT:</b>	NORTH SAC. ELEMENTARY SCHOOL DISTRICT
<b>PARK DISTRICT:</b>	CITY OF SACRAMENTO DISTRICT

NO	DESCRIPTION	APPD.	DATE

**BENCHMARK:**  
P3716+33.00 EBMUD  
CONVERTED TO NGVD-29.

**DESIGNED BY:** H.P.  
**DRAWN BY:** H.P.  
**REVISED BY:** H.P.

**H.P. ENGINEERING AND CONSTRUCTION**  
629 COMMONS DRIVE  
SACRAMENTO, CA. 95825  
TELEPHONE: (916) 925-1625

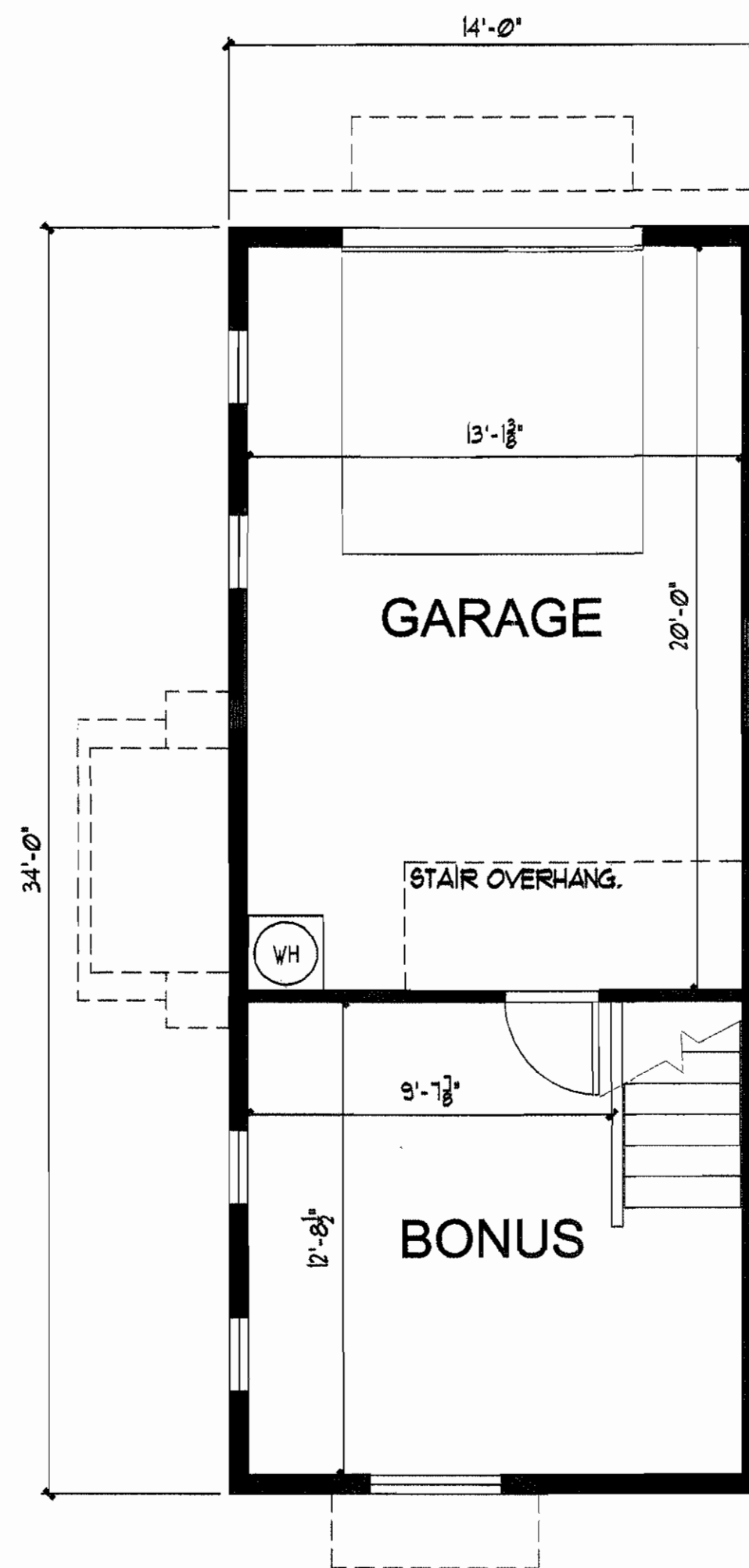


IMPROVEMENT PLAN FOR: MR. XIE WEI  
LUCKY STAR TOWNHOMES  
210 AMERSON AVE.  
BAY POINT, CA 94565

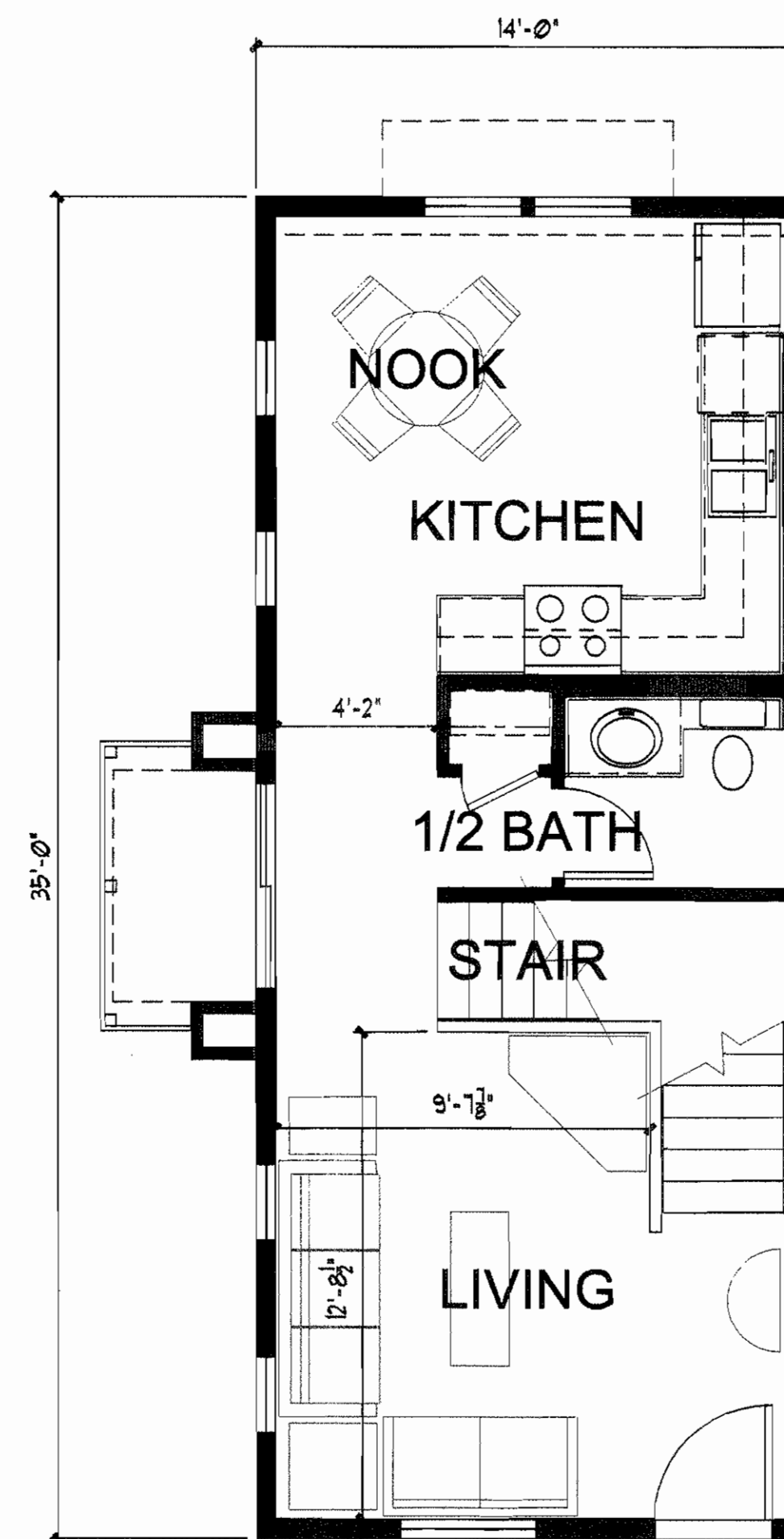
TENTATIVE MAP  
SN 9145  
097-270-071 & 074

C-1 OF 2

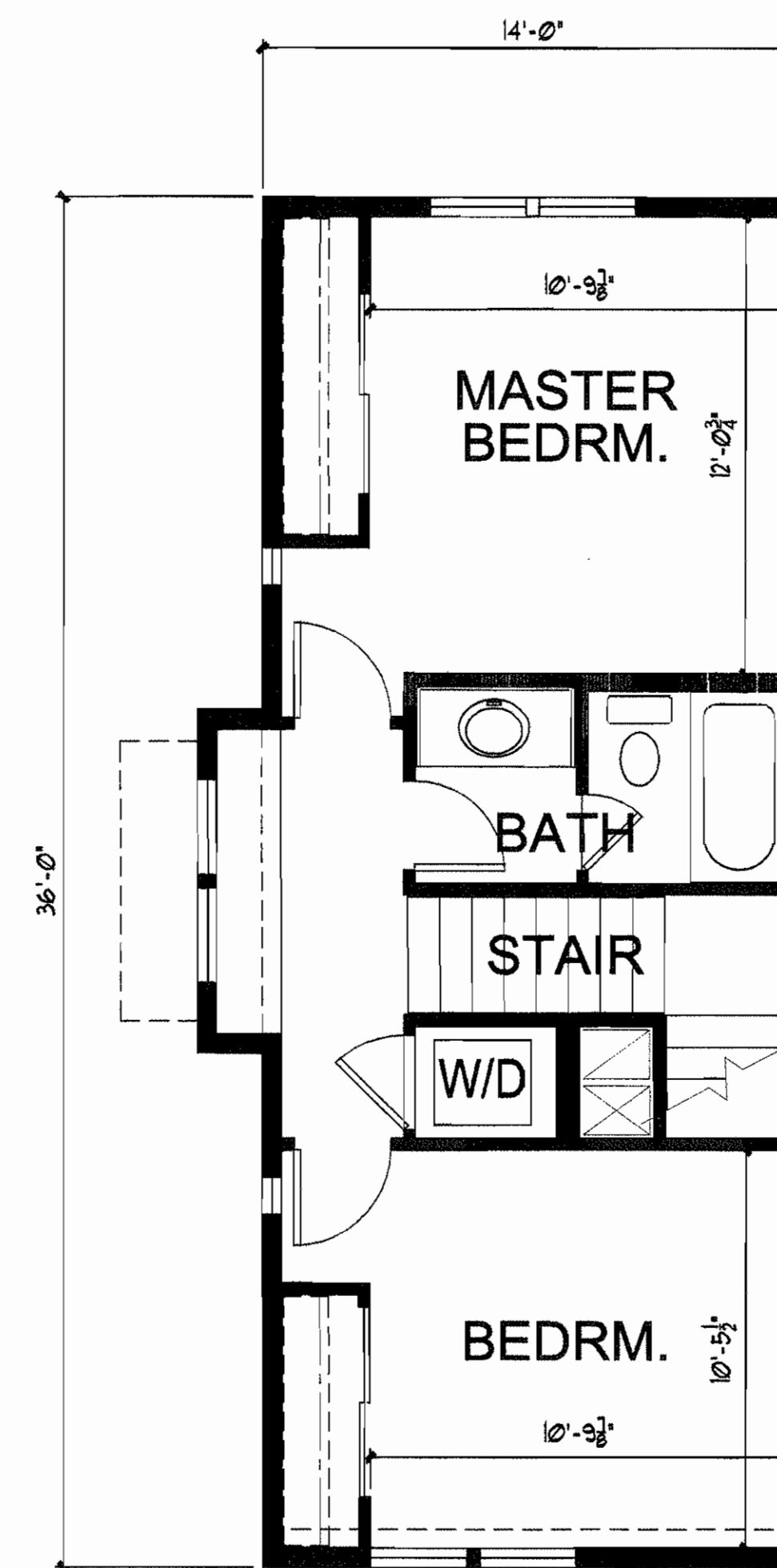
BAY POINT



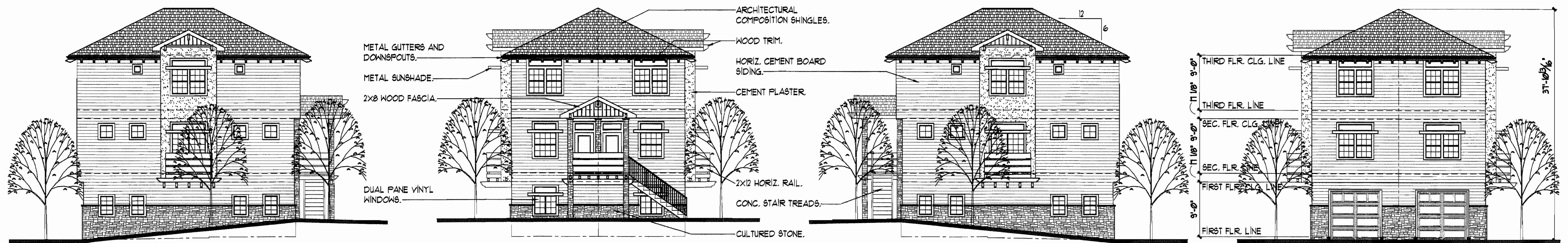
UNIT "A" - FIRST FLR. PLAN  
189 SF - (1,198 TOTAL SF) SCALE: 1/4" = 1'-0"



UNIT "A" - SECOND FLR. PLAN  
490 SF SCALE: 1/4" = 1'-0"



UNIT "A" - THIRD FLR. PLAN  
519 SF SCALE: 1/4" = 1'-0"



EAST ELEVATION

NORTH ELEVATION

WEST ELEVATION

SOUTH ELEVATION

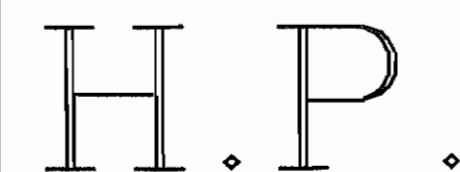
EXTERIOR ELEVATIONS  
SCALE: 1/8" = 1'-0"

**BUILDING 1**  
2 UNITS = 2,396 SF TOTAL

NO.	DESCRIPTION	APPD.	DATE

BENCHMARK:  
P3716+33.00 EBMUD  
CONVERTED TO NGVD-29.

DESIGNED BY:  
DRAWN BY:  
REVISED BY:



**ENGINEERING AND CONSTRUCTION**  
629 COMMONS DRIVE  
SACRAMENTO, CA. 95825

TELEPHONE: (916) 925-1625



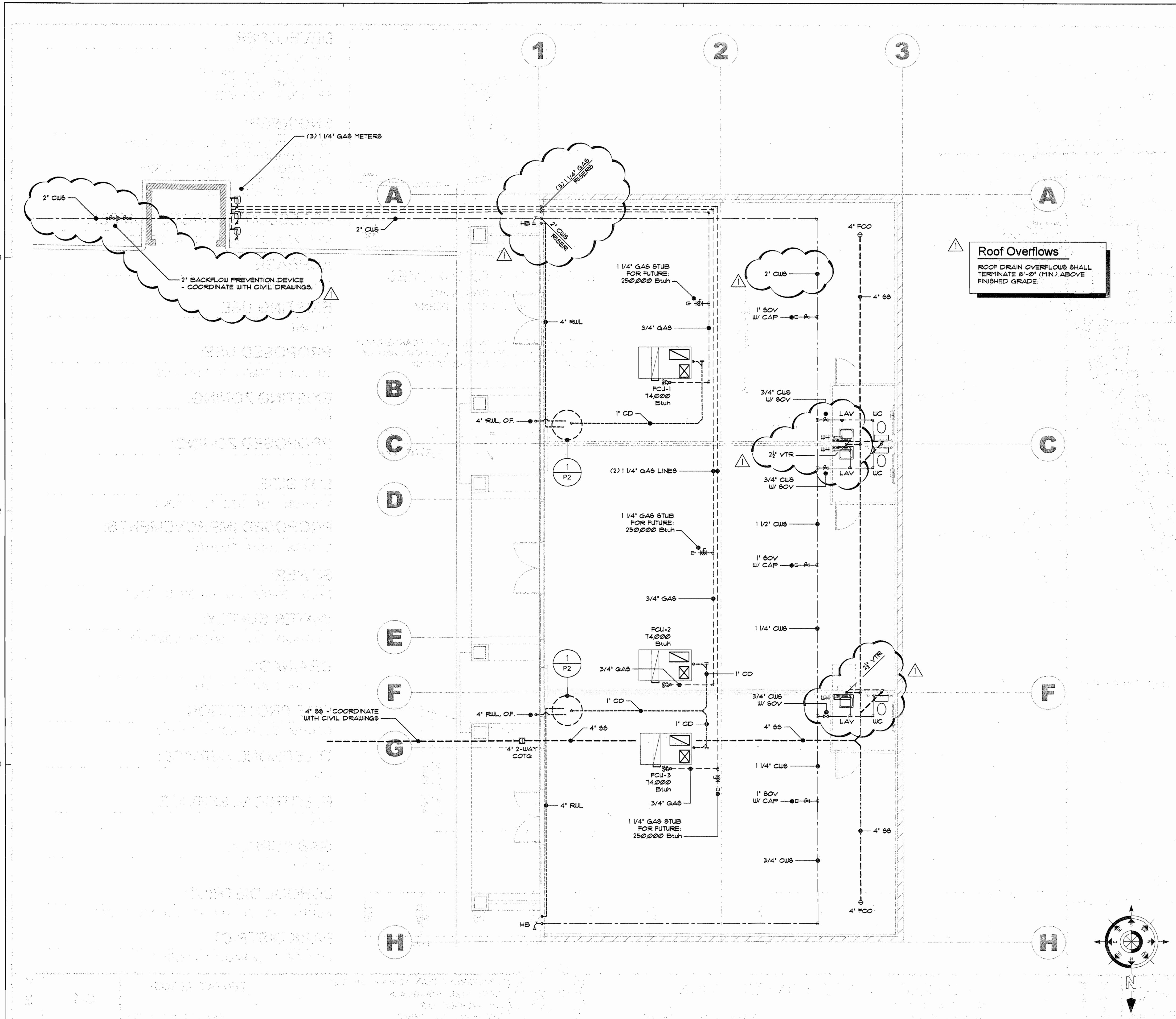
IMPROVEMENT PLAN FOR: MR. XIE WEI  
LUCKY STAR TOWNHOMES  
210 AMERSON AVE.  
BAY POINT, CA 94565

SN 9145

097-270-071 & 074

A1.0

DF  
4



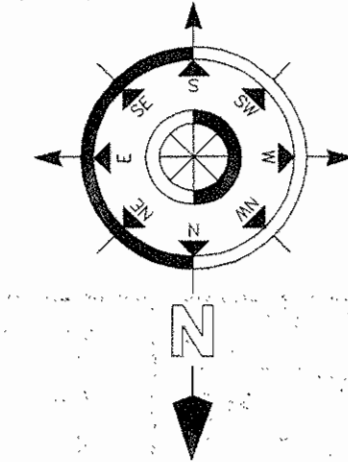
**Plumbing Notes**

- SEE SHEET P2 FOR PLUMBING NOTES, SCHEDULES AND DETAILS.
- TERMINATE CONDENSATE DRAINS (CD) AT ROOF DRAINS - VERIFY THAT CONDENSATE DOES NOT SPILL OVER A PUBLIC WALKWAY.
- PROVIDE A JOINT UTILITY TRENCH FOR THE WATER AND GAS LINES IF APPROVED BY THE CITY OF SACRAMENTO.

**Plumbing Legend**

SYMBOL	ABRV.	DESCRIPTION
---	CW	COLD WATER LINE
---	HW	HOT WATER LINE
---	V	VENT LINE/BRANCH
---	VTR	VENT-THRU-ROOF
---	SS	SANITARY SEWER LINE
---	D	DRAIN LINE-LABELED ON PLANS
---	CD	CONDENSATE DRAIN
---	RS/RL	REFRIGERATION SUCTION & LIQUID LINE(S)
---	G	GAS LINE
---	FCO	FLOOR CLEAN-OUT
---	COTG	CLEAN-OUT TO GRADE
---	FCO COTG	FLOOR CLEAN-OUT CLEAN-OUT TO GRADE
---	WCO	WALL CLEAN-OUT
---	GV SOV	GATE VALVE SHUT-OFF VALVE
---	GV SOV	GV/SOV IN GROUND SERVICE BOX WITH COVER
---	CV	CHECK VALVE (ONE-WAY)
---	GV/SOV W/ METER	GV/SOV W/ METER IN GROUND SERVICE BOX WITH COVER
---	M	METER - TYPE PER PLAN
---	GV BV	GLOBE VALVE BALL VALVE
---	HB	HOSE BIB W/ VACUUM BREAKER
---	---	PLUMBING LINE DROP
---	---	PLUMBING LINE RISER
---	---	7" PLUMBING CONNECTION
---	---	1" PLUMBING CONNECTION
---	---	1/2" PLUMBING CONNECTION
---	---	1/4" PLUMBING CONNECTION
---	FS	12"x12" FLOOR SINK
---	FS	8"x4" FLOOR SINK
---	FD	FLOOR DRAIN
---	TP	TRAP PRIMER VALVE
---	CP	CIRCULATING PUMP
---	WHA	WATER HAMMER ARRESTER

- PLUMBING NOTES:**
- ALL COLD WATER, HOT WATER, AND CONDENSATE DRAIN LINES SHALL BE TYPE "L" COPPER UNLESS NOTED OTHERWISE (2001 CPC Section 604.2).
  - ALL GAS PIPING SHALL BE STANDARD WEIGHT WROUGHT IRON OR STEEL (GALVANIZED OR BLACK) OR YELLOW BRASS (CONTAINING <75% COPPER) PER 2001 CPC Section 1210.1.
  - SANITARY SEWER LINES IN AND/OR UNDER THE BUILDING STRUCTURE SHALL BE CAST IRON. ABS AND PVC WASTE & VENT LINES SHALL BE LIMITED TO RESIDENTIAL BUILDINGS NOT EXCEEDING THREE FLOORS ABOVE GRADE, OR PER LOCAL ORDINANCES. REFER TO 2001 CPC Section 701 FOR ADDITIONAL REQUIREMENTS.
  - WASTE VENT PIPING SHALL BE CAST IRON IN AND/OR UNDER THE BUILDING STRUCTURE. ABS AND PVC WASTE & VENT LINES SHALL BE LIMITED TO RESIDENTIAL BUILDINGS NOT EXCEEDING THREE FLOORS ABOVE GRADE, OR PER LOCAL ORDINANCES. REFER TO 2001 CPC Section 903 FOR ADDITIONAL REQUIREMENTS.
  - HORIZONTAL DRAINAGE PIPING SHALL HAVE A MINIMUM SLOPE OF 2% AS PER CPC 708.0.



3/16" = 1'-0"

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**The McDermott Group**

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 MECHANICAL ENGINEERING  
 BUILDING DESIGN

**Valley Energy Consultants**  
 TITLE 24 ENERGY COMPLIANCE  
 ENERGY CONSULTING  
 MECHANICAL ENGINEERING  
 ENERGY COMPLIANCE CONSULTING  
 BUILDING DESIGN

**10308 PLACER LANE  
 SUITE 200  
 SACRAMENTO, CA 95827**  
 Phone: (916) 364-1786 Fax: (916) 364-1789  
 Email: mcdesign@themcdermottgroup.com

REVISION	REVISION
5/1/06 MPM	

CLIENT:  
**H.P. Engineering**  
 629 Commons Drive  
 Sacramento, CA 95825  
 Vce: (916) 681-7820  
 Fax: (916) 925-1627

PROJECT:  
**Retail Center**  
 2820 Northgate Blvd.  
 Sacramento, CA 95833

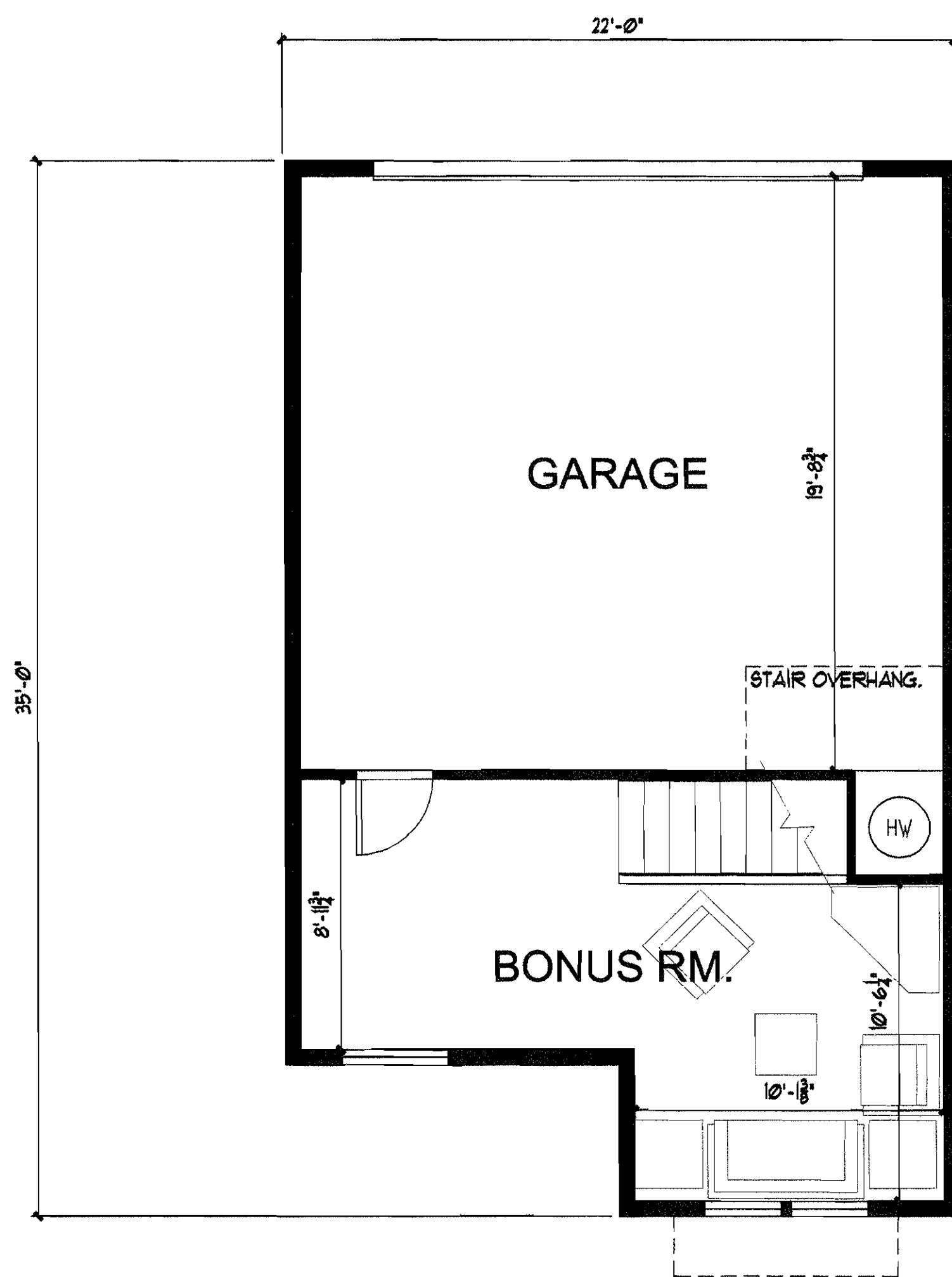
SHEET TITLE:  
**Plumbing Plan**

KEY MAP:

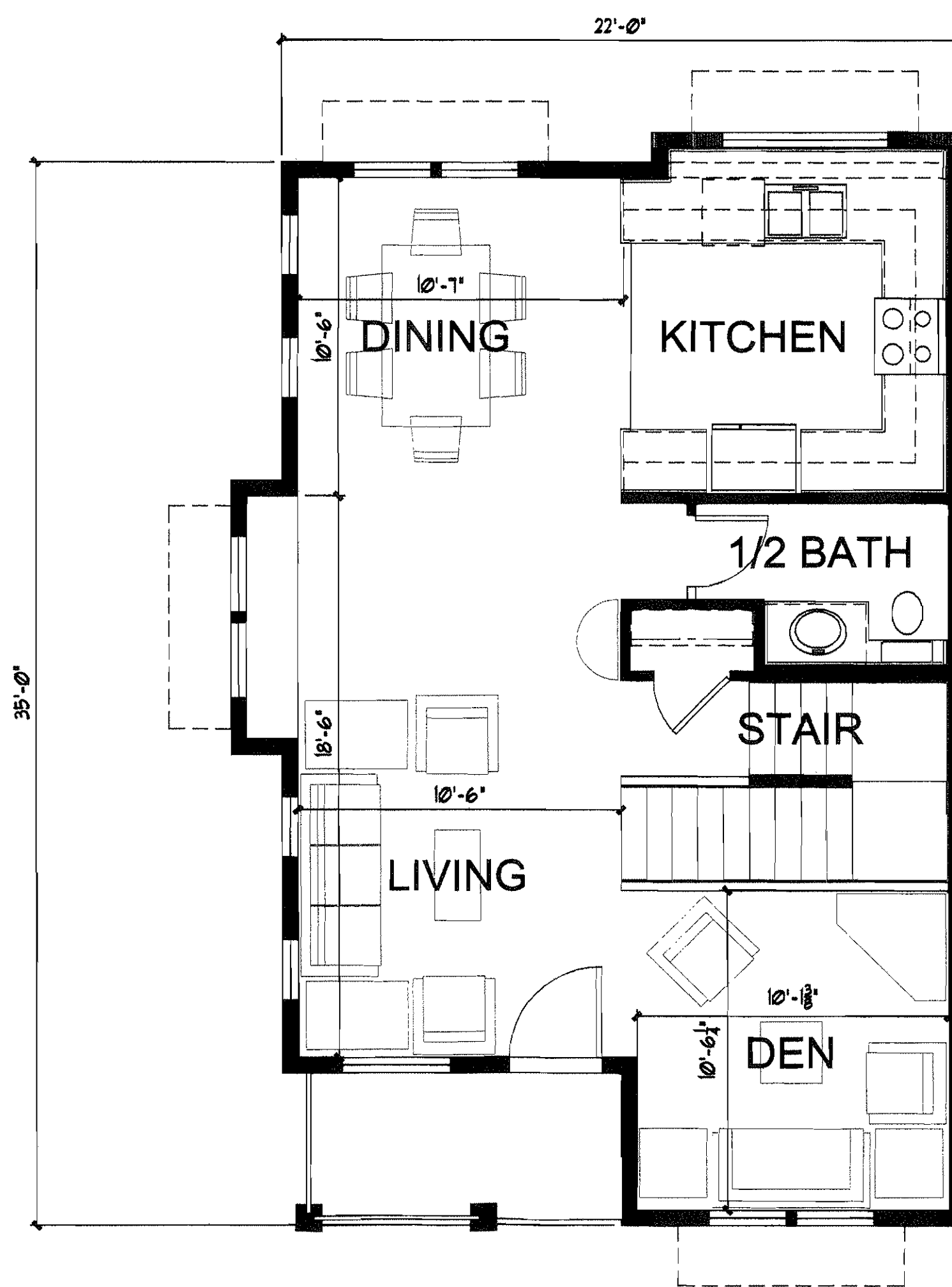
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 CHECKED BY: MPM  
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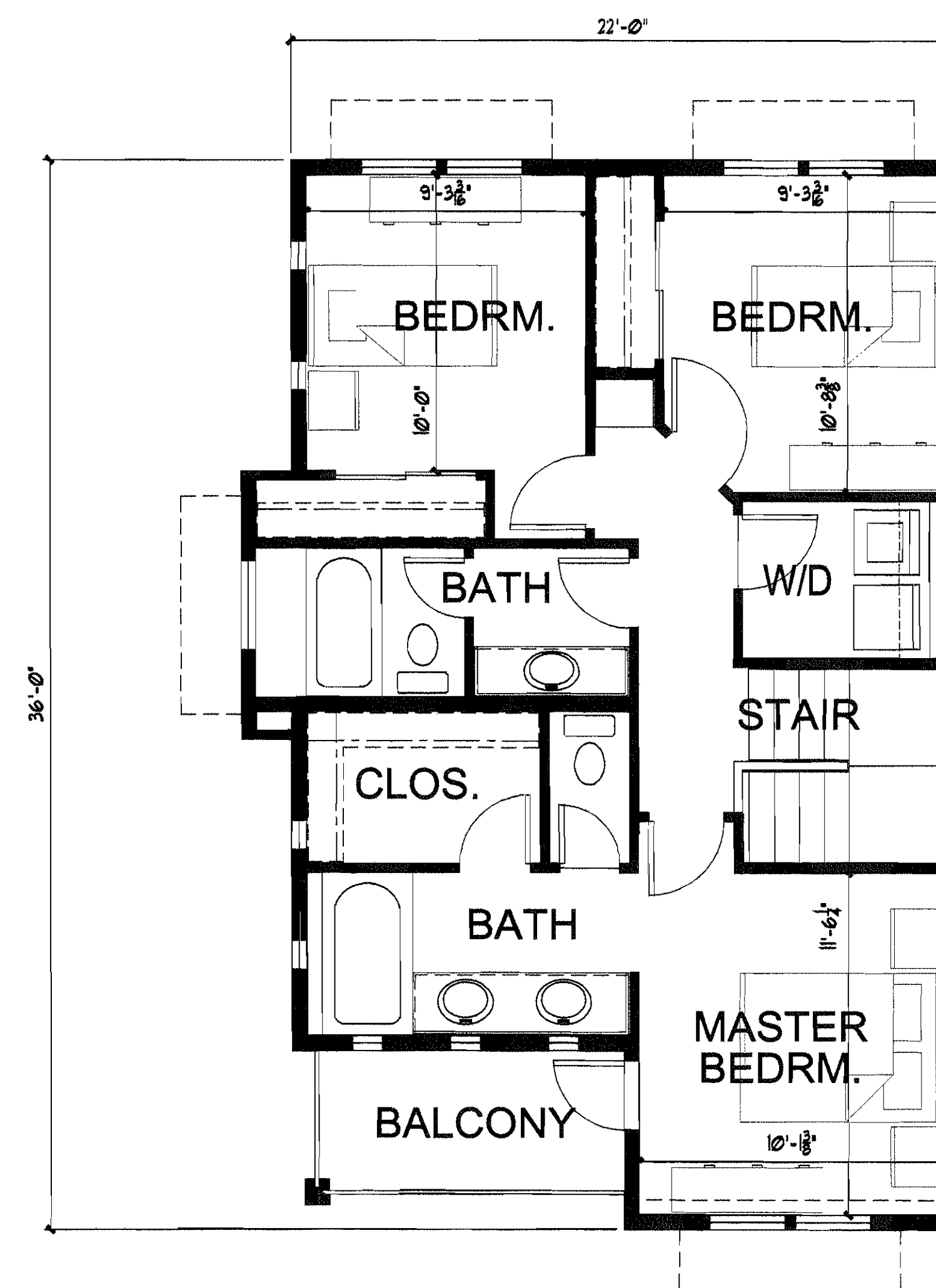
 SHEET:  
**P1**



UNIT "B" - FIRST FLR. PLAN  
258 SF - (1,699 TOTAL SF) SCALE: 1/4" = 1'-0"



UNIT "B" - SECOND FLR. PLAN  
715 SF SCALE: 1/4" = 1'-0"



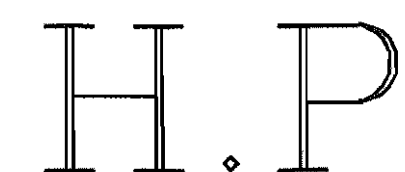
UNIT "B" - THIRD FLR. PLAN  
726 SF SCALE: 1/4" = 1'-0"

**BUILDING 2**  
6 UNITS = 10,194 SF TOTAL

NO.	DESCRIPTION	APPD.	DATE

BENCHMARK:  
P3716+33.00 EBMUD  
CONVERTED TO NGVD-29.

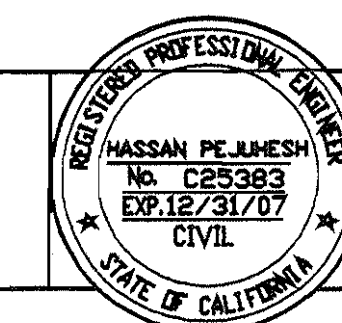
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DRAWN BY:  
REVISED BY:



**ENGINEERING AND CONSTRUCTION**

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SACRAMENTO, CA. 95825

TELEPHONE:(916)925-1625



IMPROVEMENT PLAN FOR: MR. XIE WEI  
LUCKY STAR TOWNHOMES  
210 AMERSON AVE.  
BAY POINT, CA 94565

SN 9145

097-270-071 & 074

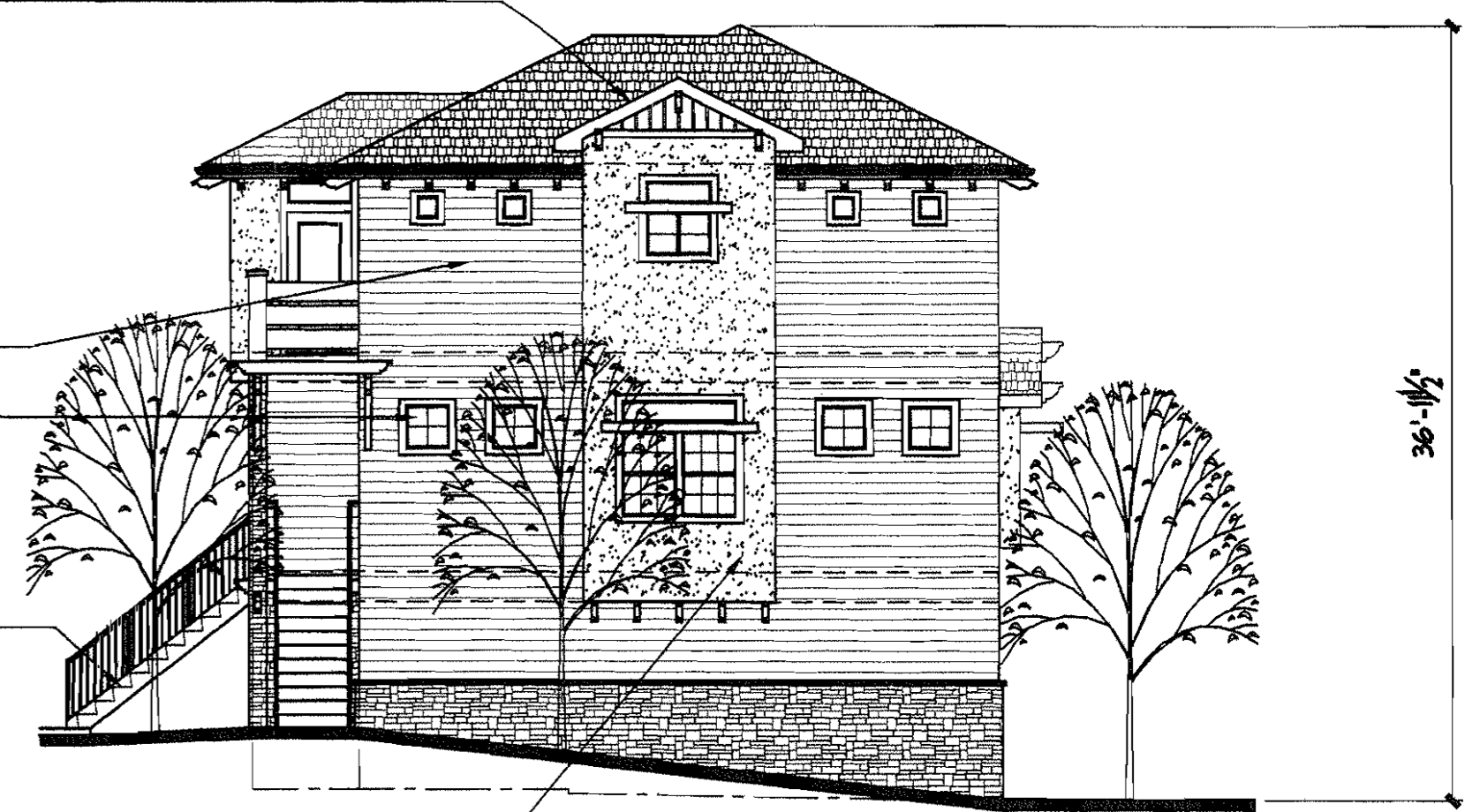
A2.0

OF 4



EAST ELEVATION

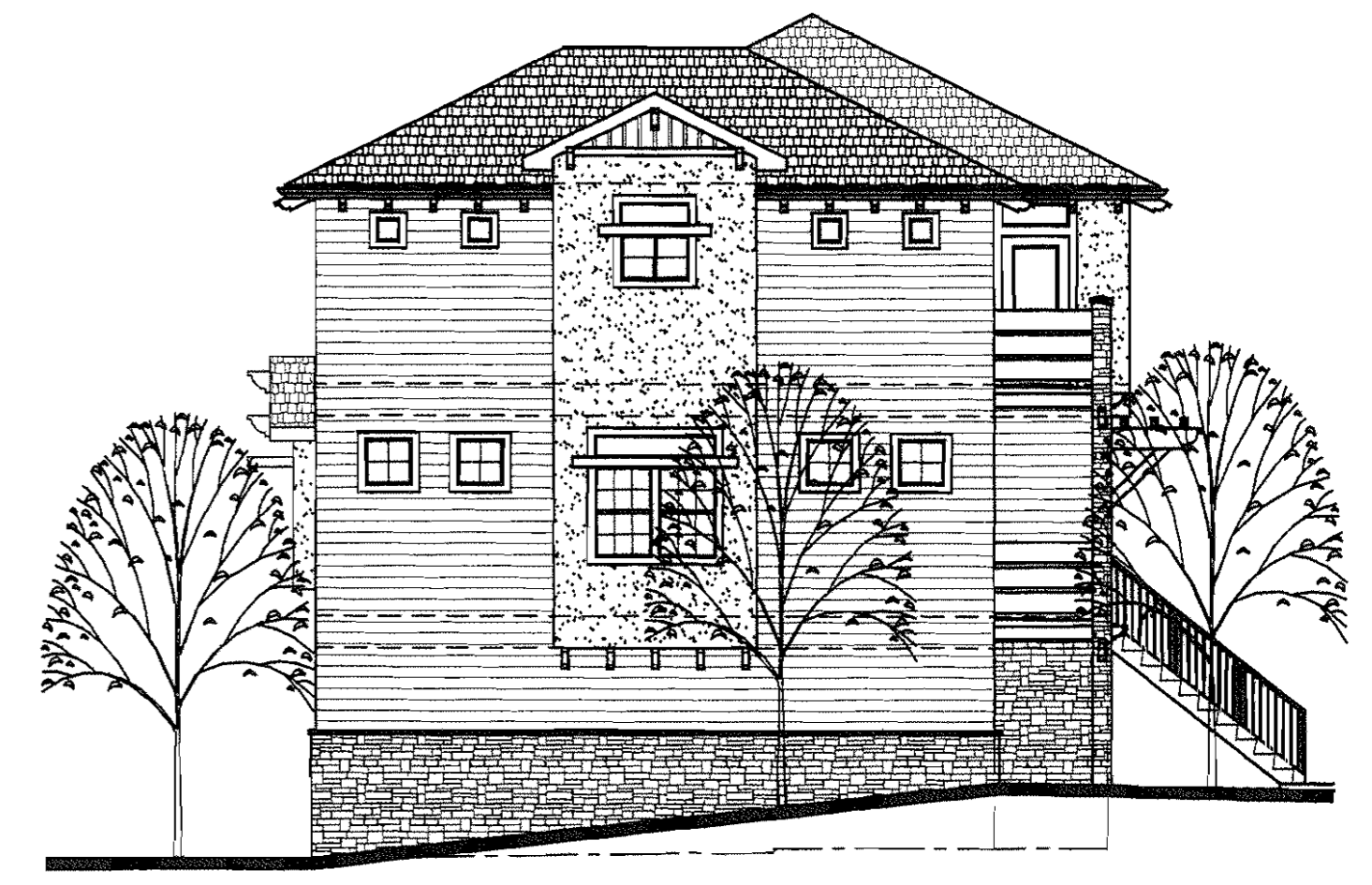
- 2x8 WOOD FASCIA.
- ARCHITECTURAL COMPOSITION SHINGLES.
- METAL GUTTERS AND DOWNSPOUTS.
- WOOD TRIM.
- HORIZ. CEMENT BOARD SIDING.
- DUAL PANE VINYL WINDOWS.
- 2x12 HORIZ. RAIL.
- CONC. STAIR TREADS.
- CULTURED STONE.
- CEMENT PLASTER.
- METAL SUNSHADE.



NORTH ELEVATION



SOUTH ELEVATION



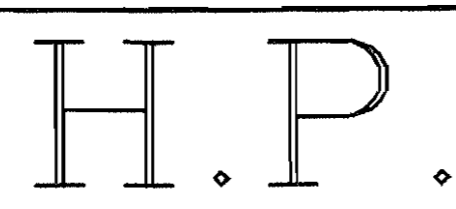
WEST ELEVATION

EXTERIOR ELEVATIONS  
SCALE: 1/8" = 1'-0"  
**BUILDING 2**

NO	DESCRIPTION	APPD.	DATE

BENCHMARK:  
P3716+33.00 EBMUD  
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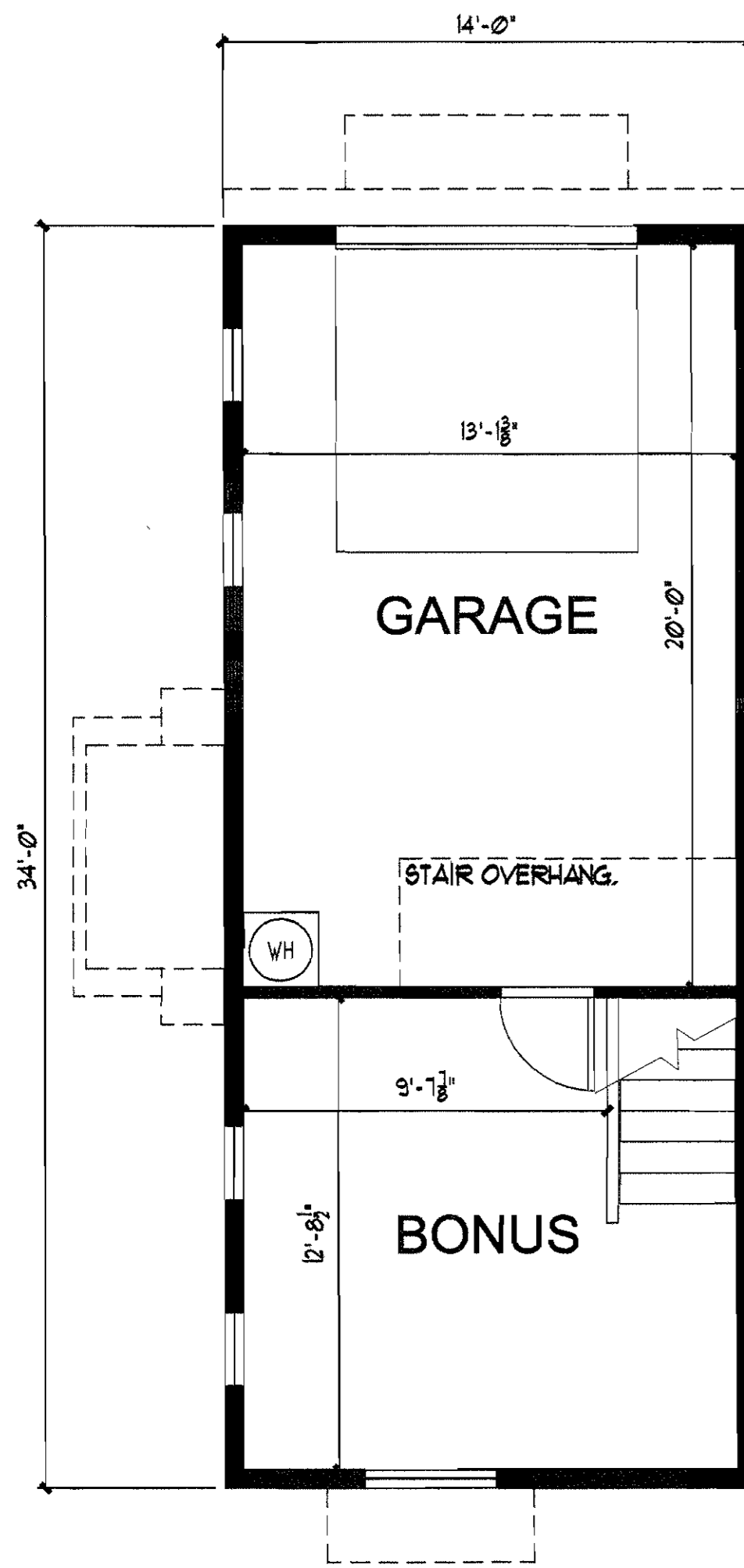


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629 COMMONS DRIVE  
SACRAMENTO, CA. 95825  
TELEPHONE:(916)926-1625

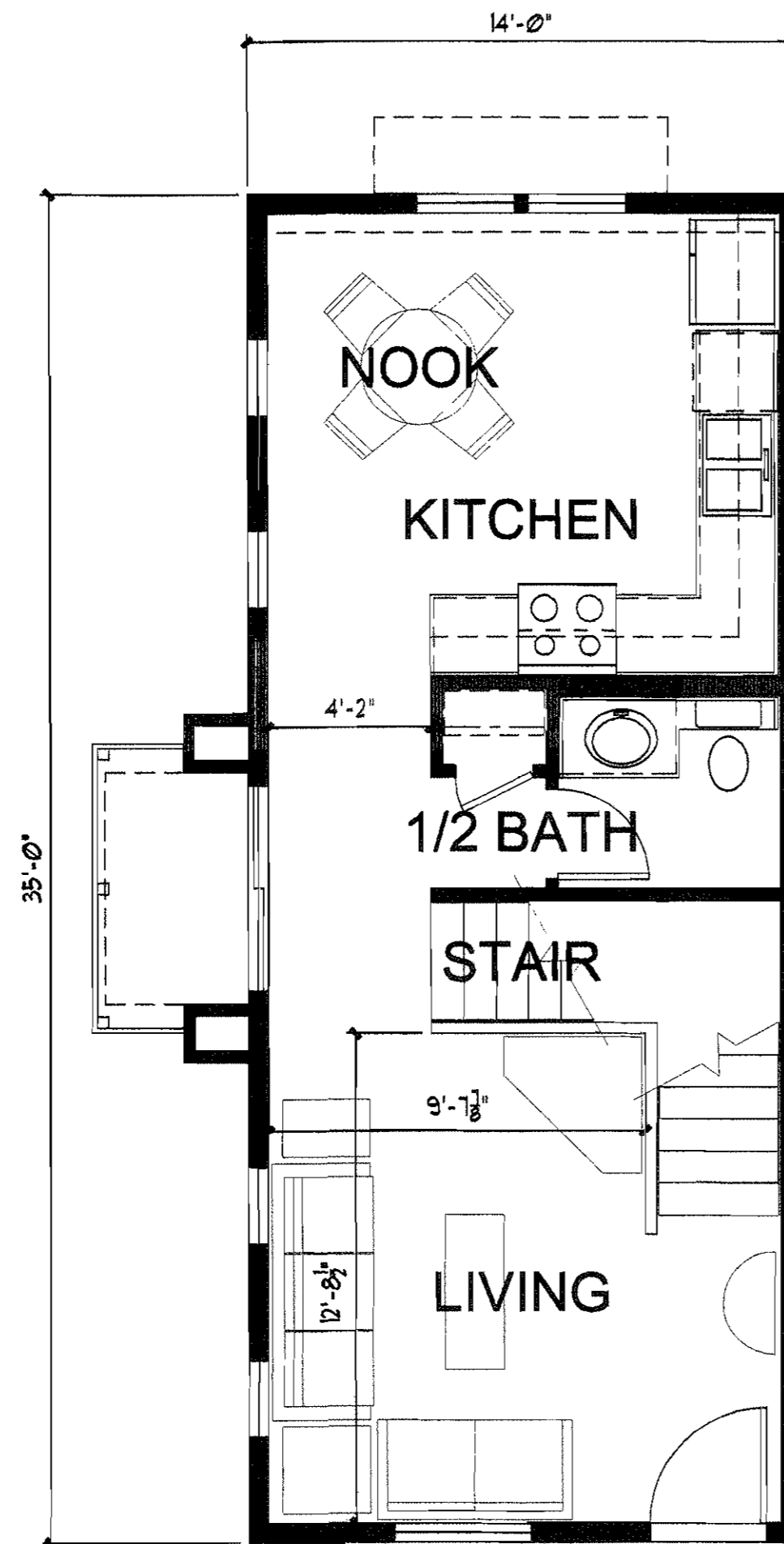


IMPROVEMENT PLAN FOR: MR. XIE WEI  
LUCKY STAR TOWNHOMES  
210 AMERSON AVE.  
BAY POINT, CA 94565

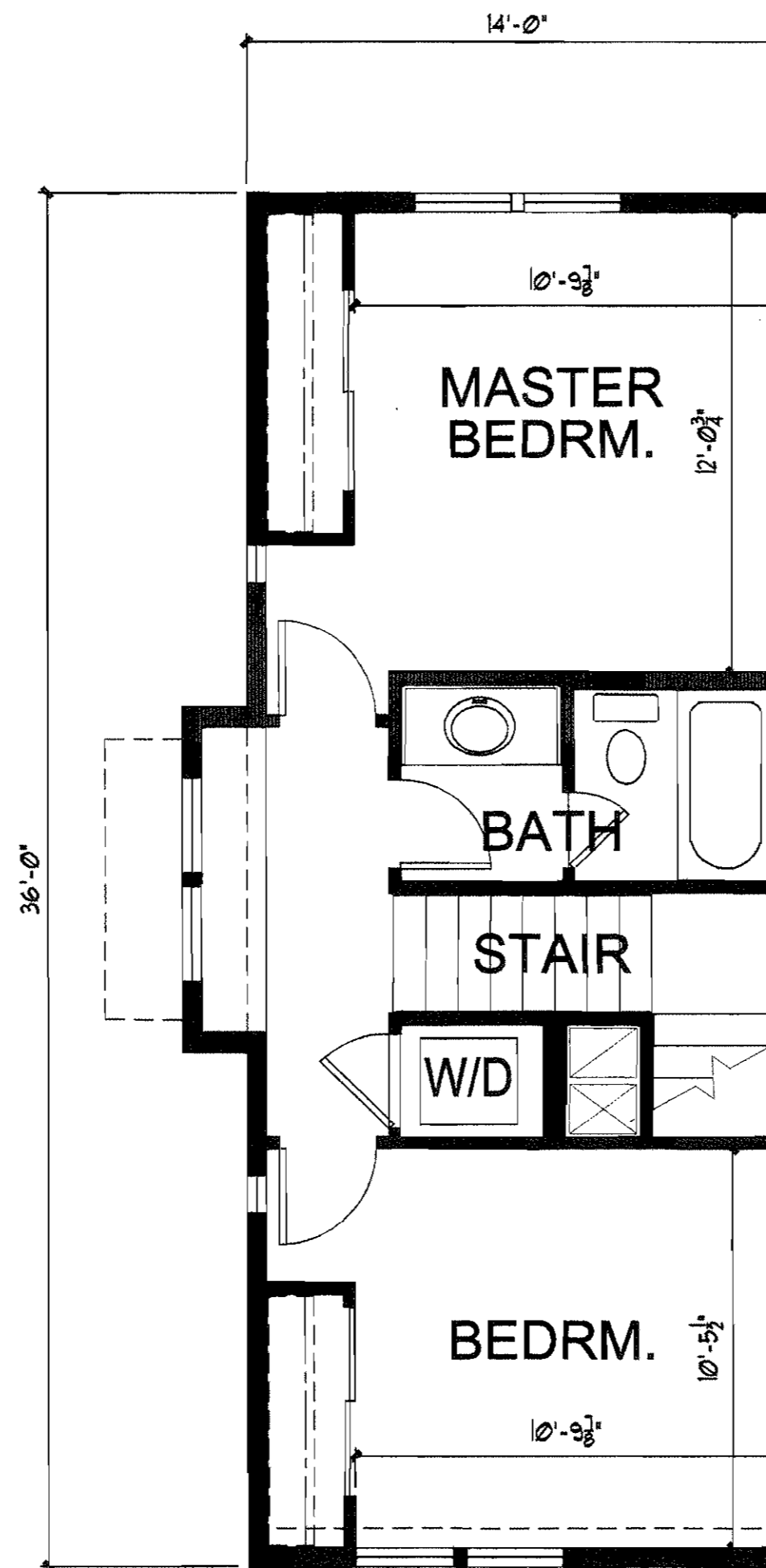
SN 9145  
097-270-071 & 074



**UNIT "A" - FIRST FLR. PLAN**  
189 SF - (1,198 TOTAL SF) SCALE: 1/4" = 1'-0"



**UNIT "A" - SECOND FLR. PLAN**  
490 SF SCALE: 1/4" = 1'-0"



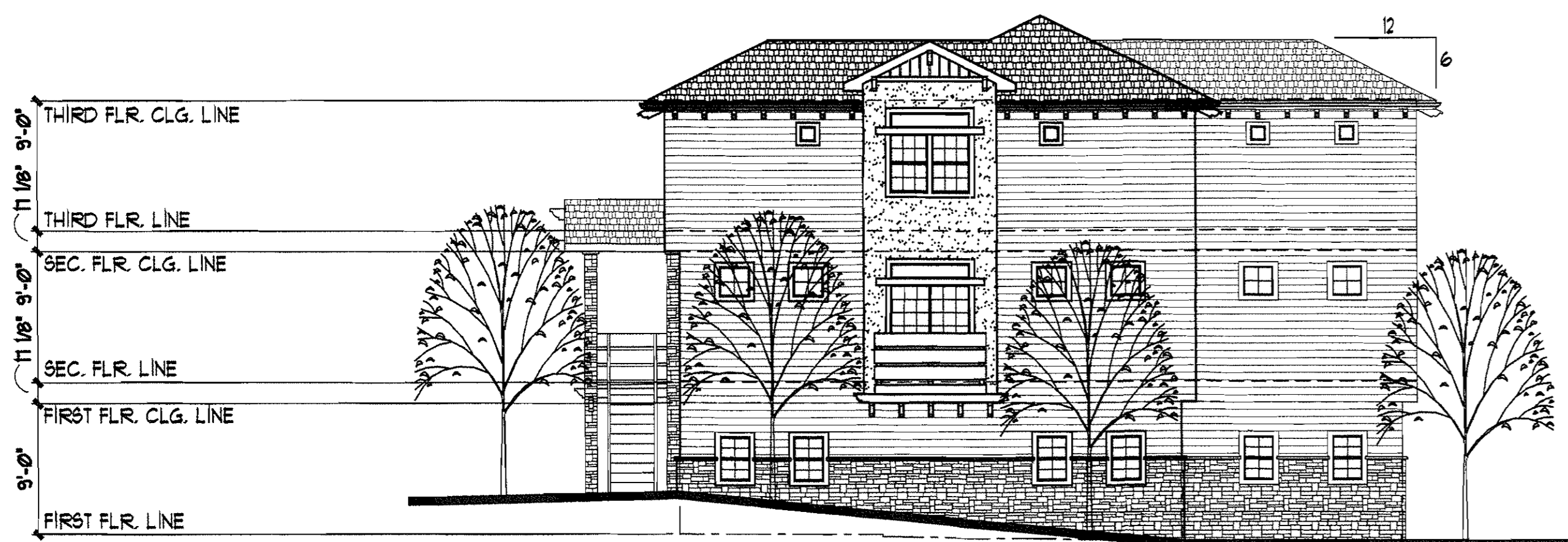
**UNIT "A" - THIRD FLR. PLAN**  
519 SF SCALE: 1/4" = 1'-0"



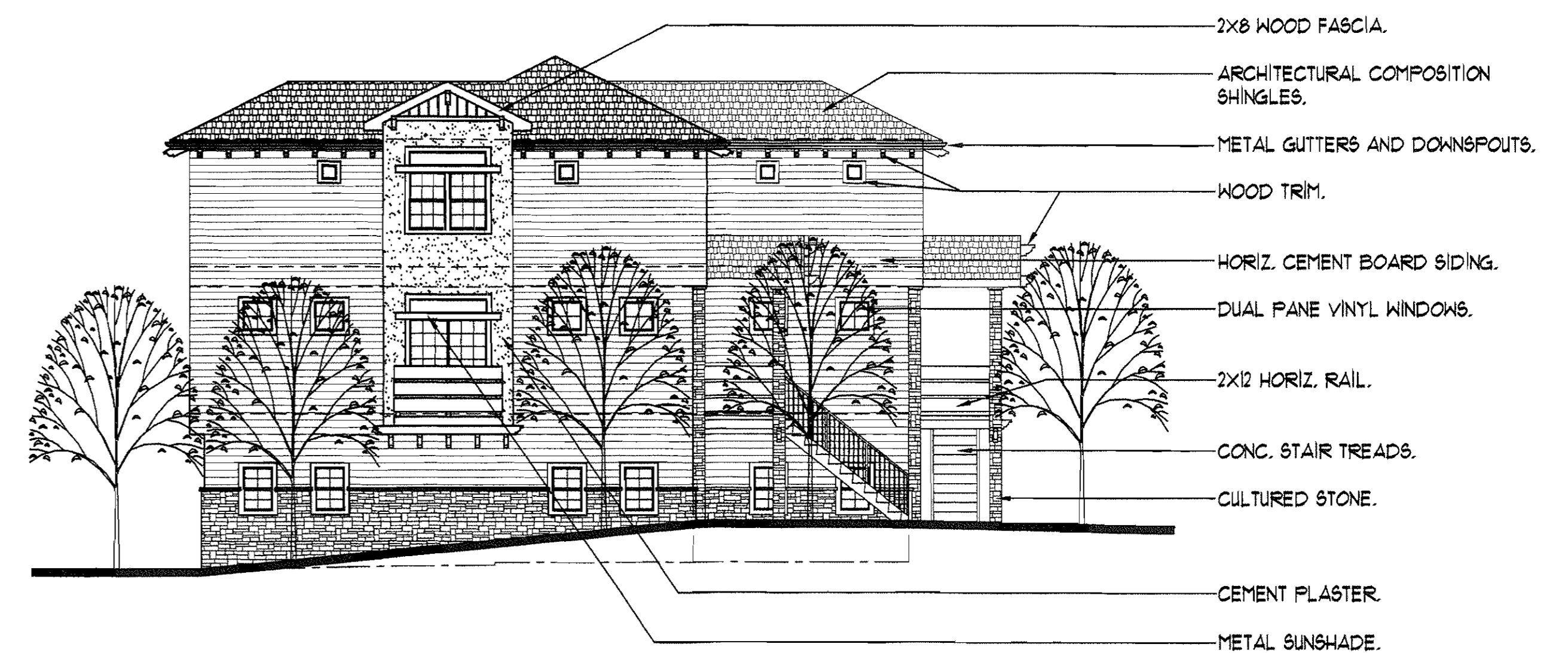
**SOUTH ELEVATION**



**NORTH ELEVATION**



**EAST ELEVATION**



**WEST ELEVATION**

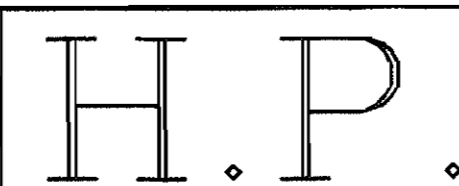
**EXTERIOR ELEVATIONS**  
SCALE: 1/8" = 1'-0"

**BUILDING 3**  
2 UNITS = 2,396 SF TOTAL

NO.	DESCRIPTION	APPD.	DATE

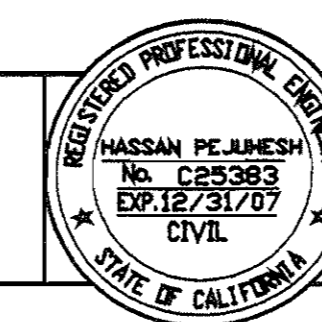
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REVISED BY:



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629 COMMONS DRIVE  
SACRAMENTO, CA. 95825

TELEPHONE: (916) 925-1625



IMPROVEMENT PLAN FOR: MR. XIE WEI  
LUCKY STAR TOWNHOMES  
210 AMERSON AVE.  
BAY POINT, CA 94565

SN 9145

097-270-071 & 074

**A3.0**

DF  
**4**



